

DECK, STAIR & SIDING REPAIR

for

Fox Hill Condominiums III

Wild Berry Court, Fox Hill Lane & Deer Path Poughkeepsie, New York 12601 City of Poughkeepsie

DECK, STAIR & SIDING REPAIR

FOR

FOX HILL CONDOMINIUMS III

WILD BERRY COURT,
FOX HILL LANE & DEER PATH
POUGHKEEPSIE, NEW YORK 12601

CITY OF POUGHKEEPSIE

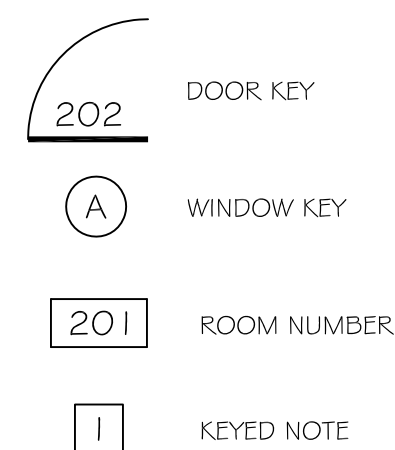
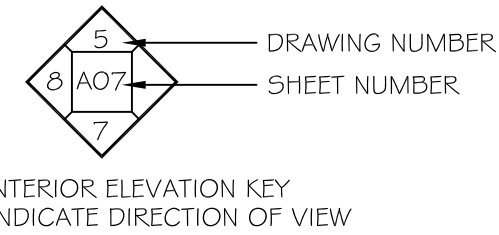
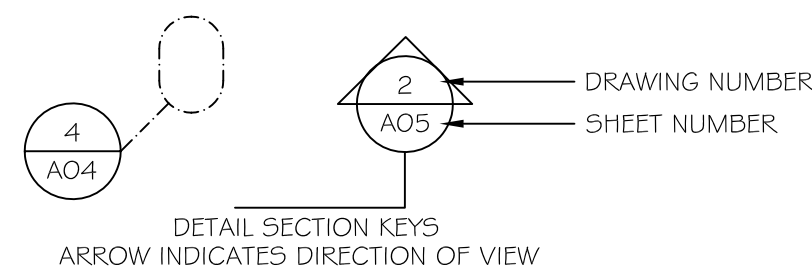
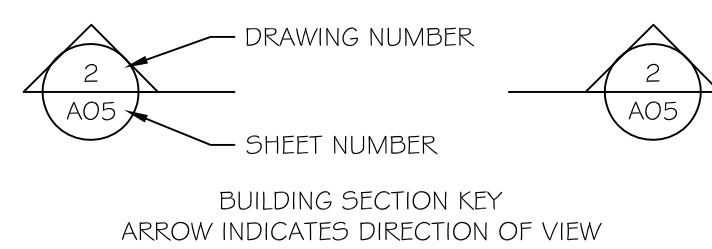
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INFORMATION INCLUDED IN THESE DOCUMENTS
IF THESE PLANS HAVE BEEN AFFIXED
WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

ABBREVIATIONS & SYMBOLS

A.F.F.	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AMP	AMPERE
APPROX.	APPROXIMATELY
C.H.	CEILING HEIGHT
C.I.F.	CAST IN PLACE
CL.	CLOSET
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CT	CERAMIC TILE
DF	DOUGLAS FIR
DN	DOWN
D.W.	DISHWASHER
ELEC	ELECTRIC / ELECTRICAL
ELEV	ELEVATION
EQ.	EQUAL
EXG	EXISTING
ICF	INSULATED CONCRETE FORM
FL	FLOOR
FT	FEET
GALV.	GALVANIZED
GWB	GYPSON WALL BOARD - SHEETROCK
HD	HOSE BIB - FROST FREE
HM	HOLLOW METAL
HRV	HEAT RECOVERY VENTILATOR
ICFs	INSULATED CONCRETE FORMS
INSUL	INSULATION
INT. ELEV.	INTERIOR ELEVATION
LVL	LAMINATED VENEER LUMBER
MARB	MARBLE
MAX	MAXIMUM
MECH.	MECHANICAL
MIL	MILLIMETER
MIN.	MINIMUM
M.O.	MASONRY OPENING
MR GWB	MOISTURE RESISTANT GYPSON WALL BOARD
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
PLY	PLYWOOD
POLYURETHANE	POLYURETHANE
P.O.S.	POINT OF SUPPORT
PREP	PREPARE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REQ.	REQUIRED
R.O.	ROUGH OPENING
R.O.B.	RUN OF BANK
SF	SQUARE FEET
SPF	SPRUCE-PINE-FIR
TBD	TO BE DETERMINED
T&G	TONGUE & GROOVE
THRU	THROUGH
TYP	TYPICAL
VCB	VINYL COVE BASE
VSF	VINYL SHEET FLOORING
V.I.F.	VERIFY IN FIELD
W	WITH
WD	WOOD
W.W.M.	WOVEN WIRE MESH



NOTE:
LEGEND MAY INCLUDE ABBREVIATIONS & SYMBOLS NOT USED IN THIS PROJECT.

ZONING & BUILDING CODE

ZONING DISTRICT: R-4 - MEDIUM HIGH DENSITY RESIDENTIAL
FRONT YARD SETBACK: 20'
REAR & SIDE YARD SETBACKS: 1/2 BUILDING HEIGHT, BUT NOT LESS THAN 15'
OCCUPANCY CLASSIFICATION: R-2 RESIDENTIAL
CONSTRUCTION TYPE: V (5)
CLASSIFICATION OF WORK: REPAIR

DRAWING LIST

- T01 TITLE SHEET
A01 FIRST FLOOR PLANS FOR BUILDINGS 35, 36 & 37
A02 FIRST FLOOR PLANS FOR BUILDINGS 38 & 39
A03 FIRST FLOOR PLANS FOR BUILDINGS 40 & 42
A04 DECK REPLACEMENT DETAILS
A05 ENTRY STAIR REPLACEMENT DETAILS

ENERGY CONSERVATION

THE SCOPE OF WORK DESCRIBED IN THESE DRAWINGS DOES NOT AFFECT THE EXISTING INSULATION OR FENESTRATION & COMPLIES WITH ALL APPLICABLE REQUIREMENTS OF THE 2010 ENERGY CONSERVATION CONSTRUCTION CODE CHAPTER.

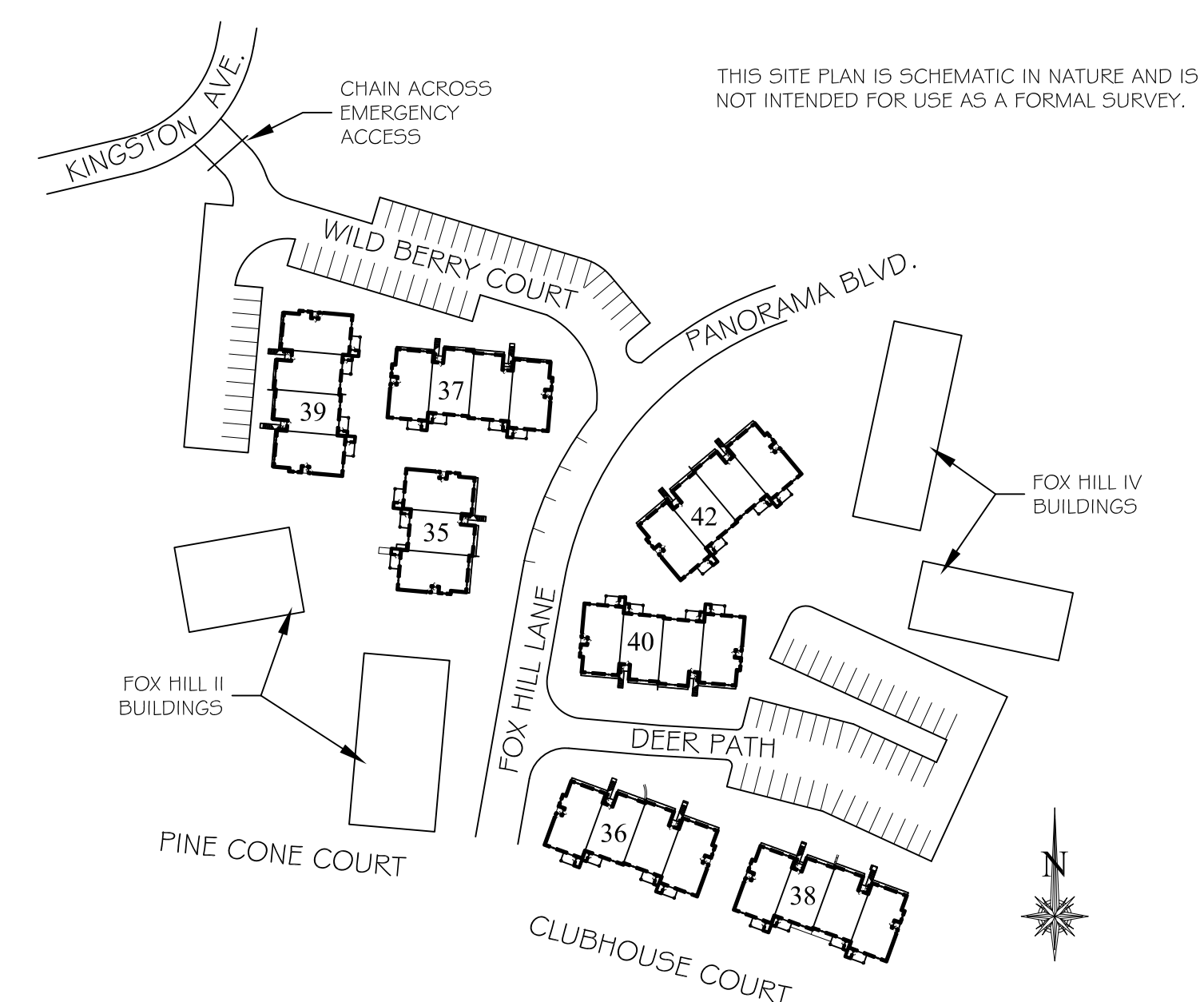
GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE RESIDENTIAL CODE OF NEW YORK STATE, THE NYS ENERGY CONSERVATION CODE, THE CITY OF POUGHKEEPSIE, THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE NYS BOARD OF FIRE UNDERWRITERS.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL CONSTRUCTION DEBRIS.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE		
40 PSF	90 MPH	B	SEVERE	42 IN	MODERATE TO HEAVY	YES	-

SITE PLAN



1 EXISTING SITE PLAN
SCALE: 1" = 100'

BOLDER ARCHITECTURE PLLC

DAVID TODER

ARCHITECT / CRAFTSMAN
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PROJECT # 13-24 DATE: 6/4/2014

T01

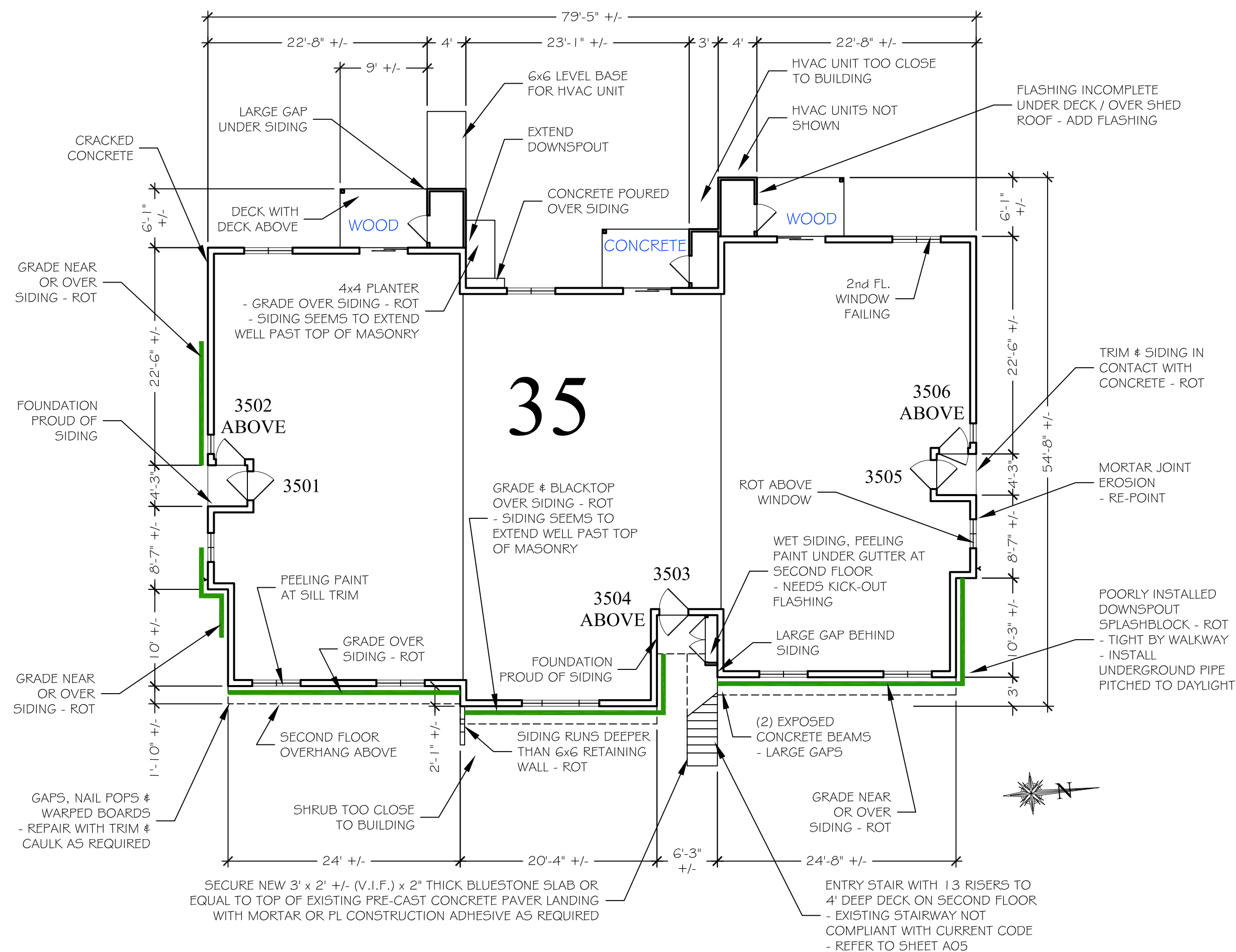
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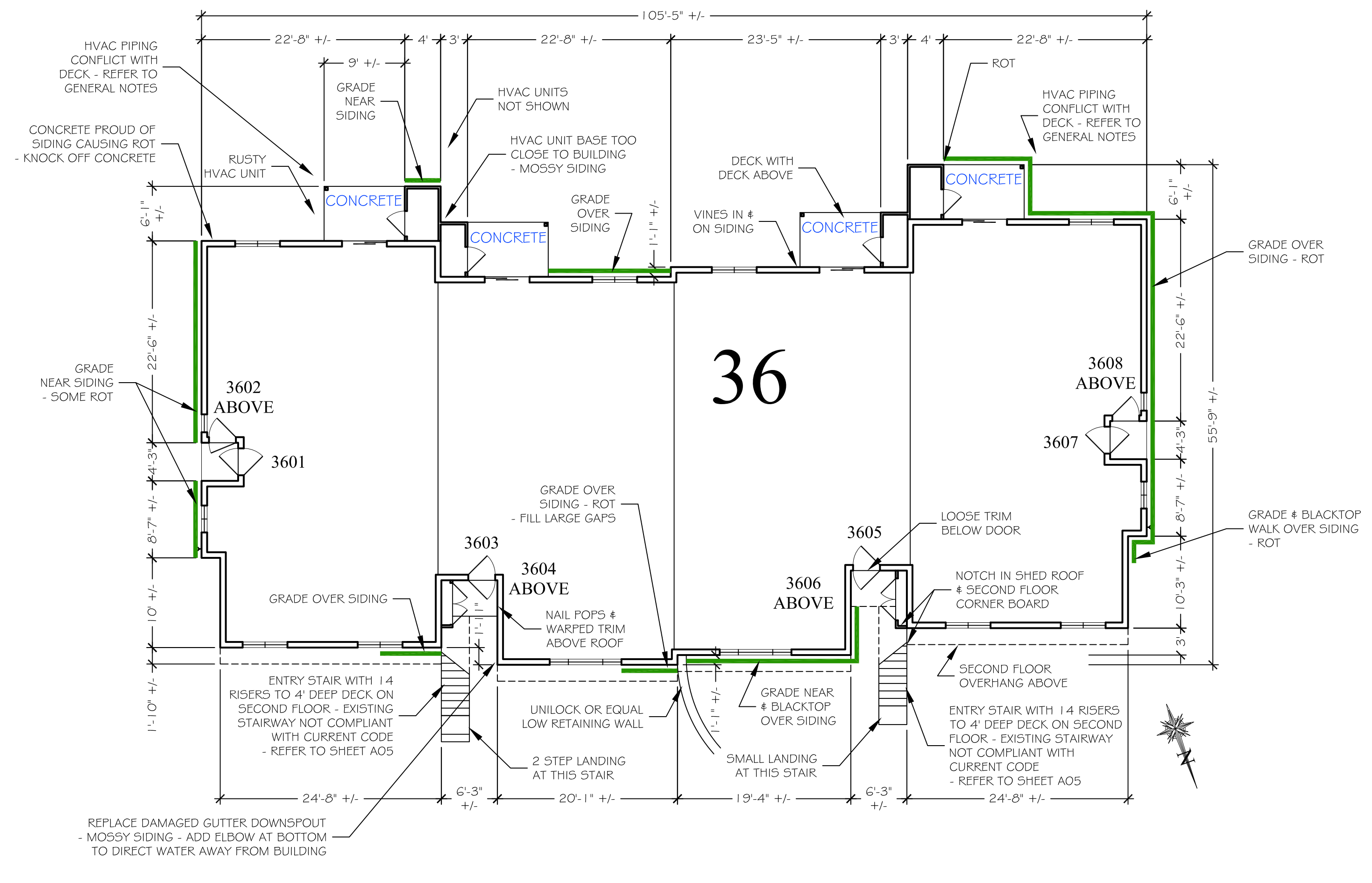
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1 FIRST FLOOR PLAN - BUILDING 35
 SCALE: 1" = 10'-0"



2 FIRST FLOOR PLAN - BUILDING 36
 SCALE: 1" = 10'-0"

REPAIR NOTES

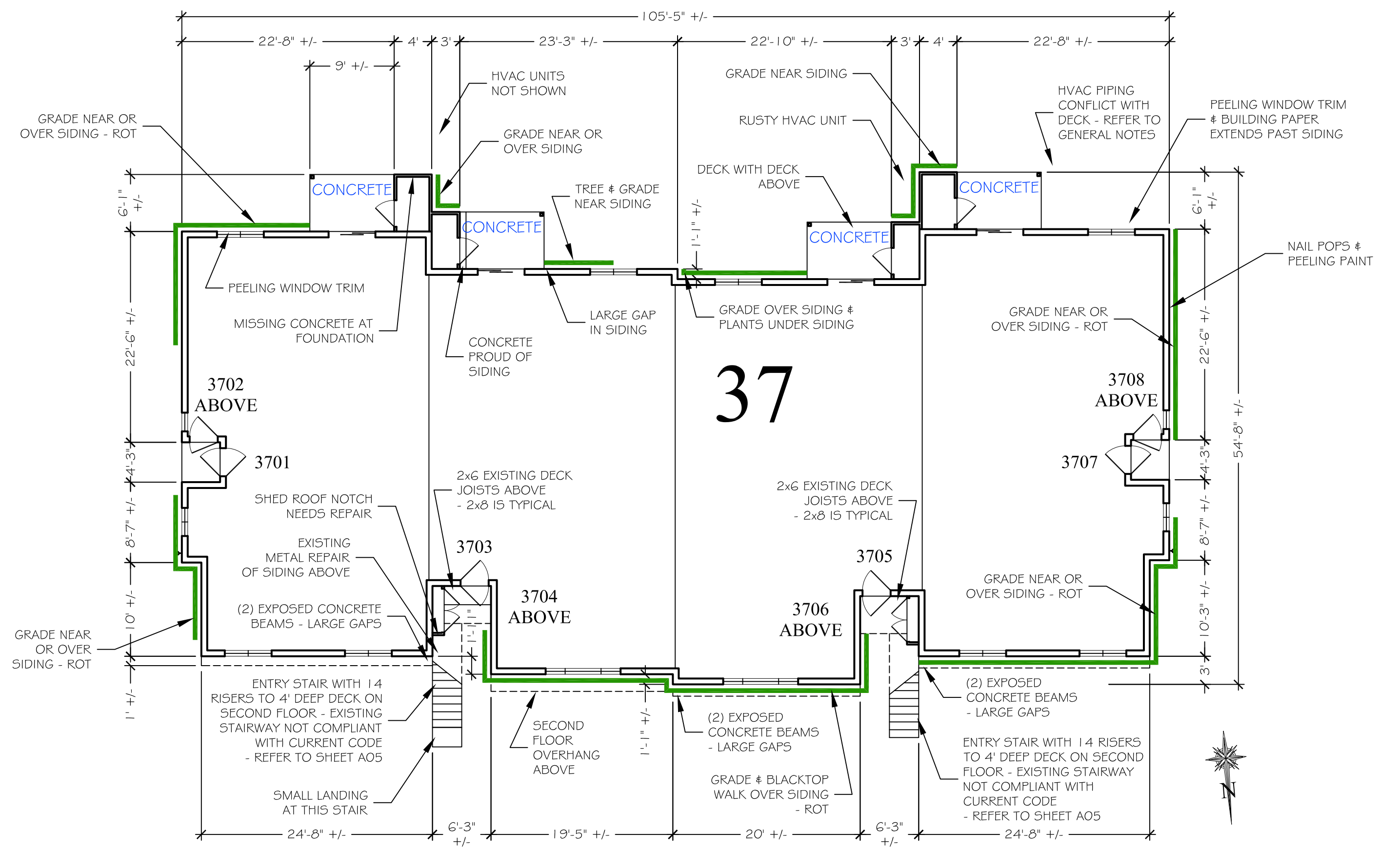
- PULL GRADE AS FAR DOWN & AWAY FROM THE SIDING AS POSSIBLE WHILE MAINTAINING SURFACE DRAINAGE AWAY FROM THE BUILDING.
- REMOVE / RELOCATE OR TRIM BACK TREES & BUSHES TO CREATE A 2' CLEARANCE FROM THE BUILDING, OR AS MUCH CLEARANCE AS POSSIBLE.
- REPLACE DAMAGED GUTTER DOWNSPOUTS OR RE-SECURE EXISTING DOWNSPOUTS AS REQUIRED. RE-DIRECT GUTTER DOWNSPOUTS AWAY FROM THE BUILDING OR INTO NEW SUB-SURFACE PIPING PITCHED TO DAYLIGHT WHERE APPROPRIATE. REPAIR BLACKTOP WALKWAY AFTER PIPE INSTALLATION WHERE APPROPRIATE.
- REMOVE & REPLACE SIDING OR PRY UP & CUT OUT THE ROTTED SECTIONS OF SIDING AT GRADE, AT ROOF / WALL INTERSECTIONS & AT THE FEW ROTTED SECTIONS IN THE MIDDLE PORTION OF A WALL. IN SOME AREAS, THE BOTTOM OF THE SIDING RUNS LONG PAST THE TOP OF THE MASONRY, SO THIS REMOVAL OF DAMAGED SECTIONS MAY BE A COMPLETE REPAIR.
- INSPECT THE WALL FRAMING FOR DAMAGE & REPLACE ROTTED SECTIONS OF FRAMING OR SHEATHING AS REQUIRED.
- WHERE APPROPRIATE, CAREFULLY PRY UP BOTTOM OF SIDING, REMOVING NAILS UP 12" +/- & SLIP ALUMINUM FLASHING 8" +/- UP UNDER SIDING OR AS FAR AS NEEDED SO TOP OF FLASHING IS 8" MIN. ABOVE FINAL GRADE OR ROOF BELOW. IN SOME LOCATIONS, USE ICE & WATER SHIELD IN COMBINATION WITH ALUMINUM FLASHING FOR BEST PROTECTION. RE-NAIL OR REPLACE SIDING AS REQUIRED.
- REPLACE POPPED NAILS WITH STAINLESS STEEL TRIM SCREWS AS REQUIRED. CAULK GAPS AS REQUIRED WITH CLEAR, PAINTABLE EXTERIOR CAULK.
- REPLACE LOW 6x6 RETAINING WALLS WITH UNLOCK OR EQUAL RETAINING WALLS.
- PLEASE NOTE, THE ENTRY STAIRS FOR EACH SECOND FLOOR CONDO UNIT MUST BE DONE SEPARATELY, SO THAT EACH ENTRY STAIR CAN BE REMOVED AFTER THE OCCUPANTS LEAVE FOR THE DAY, HAVE THE BUILDING FRAMING REPAIRED AS REQUIRED & HAVE THE NEW DECK & STAIR FRAMING COMPLETED WITH AT LEAST TEMPORARY DECKING & RAILINGS BEFORE END OF DAY. PERMANENT DECKING & RAILINGS NEED TO BE INSTALLED AS SOON AS POSSIBLE.
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- THERE IS AN OPTION TO RE-BUILD THE BACK DECKS LARGER (8' x 12') THAN EXISTING (6' x 9'). IF BACK DECKS ARE TO BE ENLARGED, REMOVE SIDING AS REQUIRED FOR NEW DECK. PROVIDE NEW ALUMINUM AND/OR ICE & WATER SHIELD FLASHING AS REQUIRED BEHIND DECK LEDGER UP UNDER SIDING & DOWN OVER SIDING.
- REPAIR SMALL SHEDS UNDER THE EXTERIOR STAIRS AS REQUIRED. REPLACE WOOD OR, AS DONE AT AN EXISTING SHED AT BUILDING #39, INSTALL METAL FLASHING.
- REPAIR SECOND FLOOR CORNER BOARD & SIDING AREAS AT PREVIOUS STAIR RAILINGS AS REQUIRED.
- PREP & PAINT ALL EXISTING & NEW DECKS, STAIRS, SIDING, TRIM & SOFFITS WITH TINTED PRIMER & (2) COATS OF PAINT. COLOR TBD.

LEGEND



GENERAL NOTES

- THIS PROJECT MAY BE DONE IN PHASES WITH SEPARATE BUILDING PERMITS AS REQUIRED.
- ALL EXTERIOR ENTRY STAIRS & FIRST FLOOR BACK DECKS TO BE REPLACED. FIRST FLOOR BACK DECKS TO BE EITHER WOOD OR CONCRETE AS NOTED ON SHEETS A01 - A03. NEW SECOND FLOOR BACK DECK GUARDRAIL ONLY. REFER TO DETAILS ON SHEET A04.
- RELOCATE (2) HVAC UNITS TO 16" MIN. AWAY FROM BUILDING. (6) HVAC UNITS HAVE PIPING AND/OR WIRING THAT RUNS UNDER EXISTING BACK DECKS AS NOTED ON SHEETS A01 - A03. RECONFIGURE AND/OR MODIFY HVAC PIPING AS REQUIRED UNDER OR AROUND NEW FIRST FLOOR DECKS USING PVC SLEEVES AS APPROPRIATE. CONTRACTOR SHALL DOCUMENT EXISTING CONDITION OF HVAC UNITS & CONFIRM REPORT WITH FOX HILL III MANAGER PRIOR TO START OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UNITS DURING WORK.
- REPAIR SIDING AS REQUIRED AT ROT OR OTHER DAMAGE.
 - ALL SIDING ABOVE ROOFS BELOW EXTENDS TOO CLOSE TO ROOFING, CAUSING ROT.
 - IN MANY AREAS, GRADE COVERS THE BOTTOM OF THE SIDING, CAUSING ROT. LOCATIONS NOTED ON SHEETS A01 - A03. REFER TO REPAIR NOTES FOR MORE INFORMATION.
- PROVIDE KICK-OUT FLASHING AS REQUIRED AT ROOF EAVE / SIDE WALL INTERSECTIONS.
- AT EXISTING EXPOSED CONCRETE BEAMS IN SECOND FLOOR OVERHANGS, FILL LARGE GAPS WITH INSULATION & COVER WITH PLYWOOD & TRIM TO MATCH EXISTING.



3 FIRST FLOOR PLAN - BUILDING 37
 SCALE: 1" = 10'-0"

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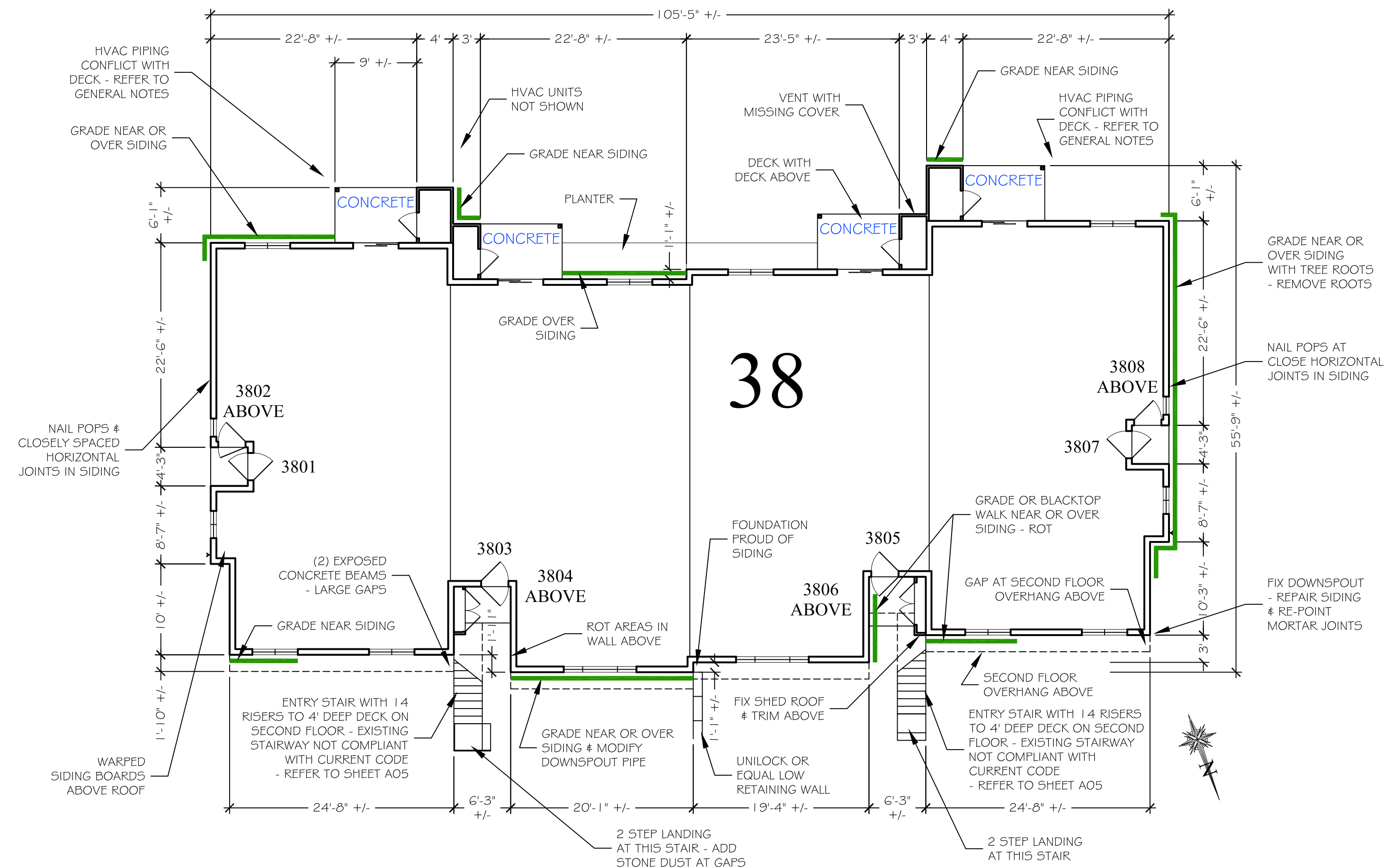
PROJECT # 13-24 DATE: 6/4/2014

A01

FLOOR PLANS

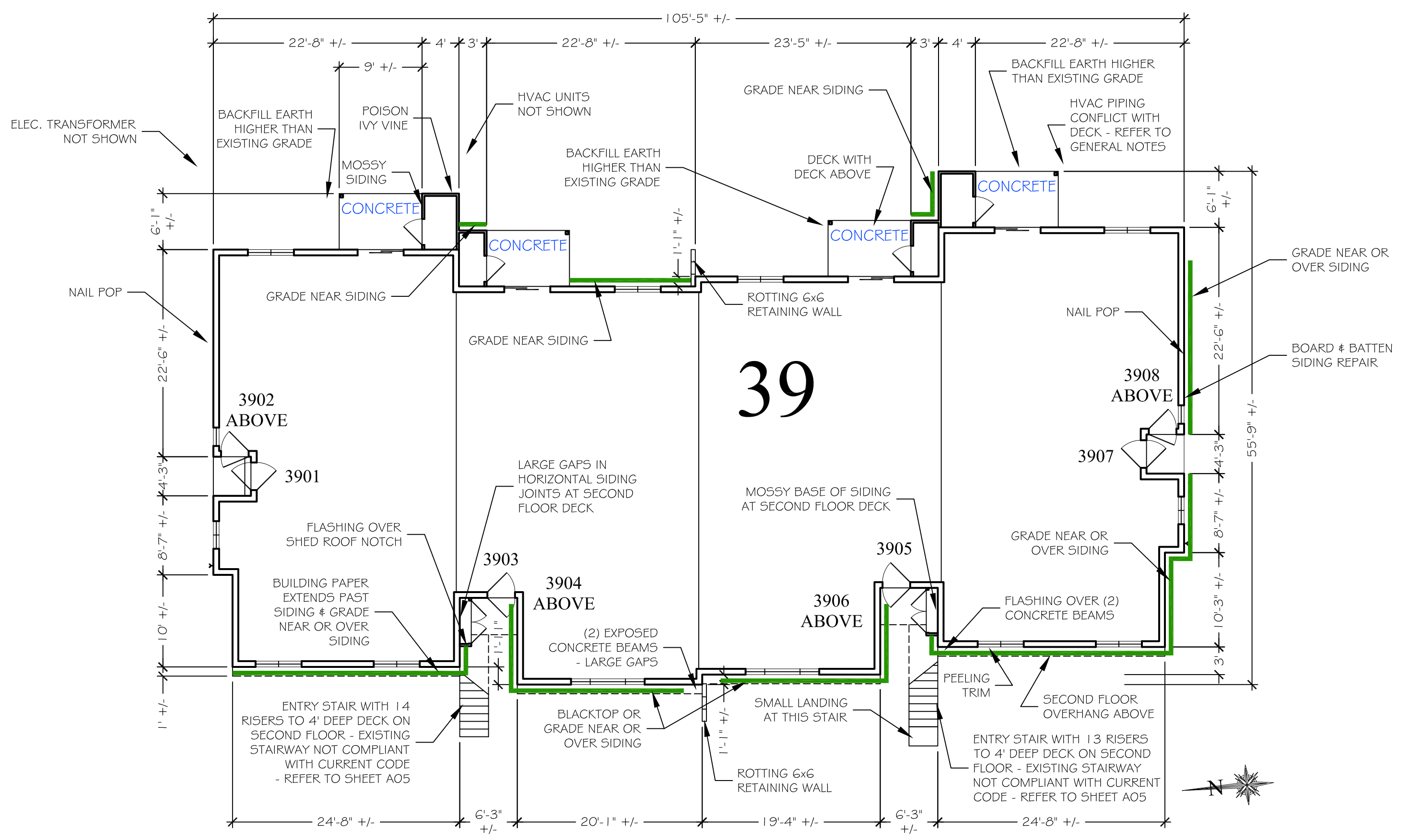
LEGEND	
	GRADE TOO HIGH

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1 FIRST FLOOR PLAN - BUILDING 38
SCALE: 1" = 10'-0"

- REPAIR NOTES**
- FULL GRADE AS FAR DOWN & AWAY FROM THE SIDING AS POSSIBLE WHILE MAINTAINING SURFACE DRAINAGE AWAY FROM THE BUILDING.
 - REMOVE / RELOCATE OR TRIM BACK TREES & BUSHES TO CREATE A 2' CLEARANCE FROM THE BUILDING, OR AS MUCH CLEARANCE AS POSSIBLE.
 - REPLACE DAMAGED GUTTER DOWNSPOUTS OR RE-SECURE EXISTING DOWNSPOUTS AS REQUIRED. RE-DIRECT GUTTER DOWNSPOUTS AWAY FROM THE BUILDING OR INTO NEW SUB-SURFACE PIPING PITCHED TO DAYLIGHT WHERE APPROPRIATE. REPAIR BLACKTOP WALKWAY AFTER PIPE INSTALLATION WHERE APPROPRIATE.
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2 FIRST FLOOR PLAN - BUILDING 39
SCALE: 1" = 10'-0"

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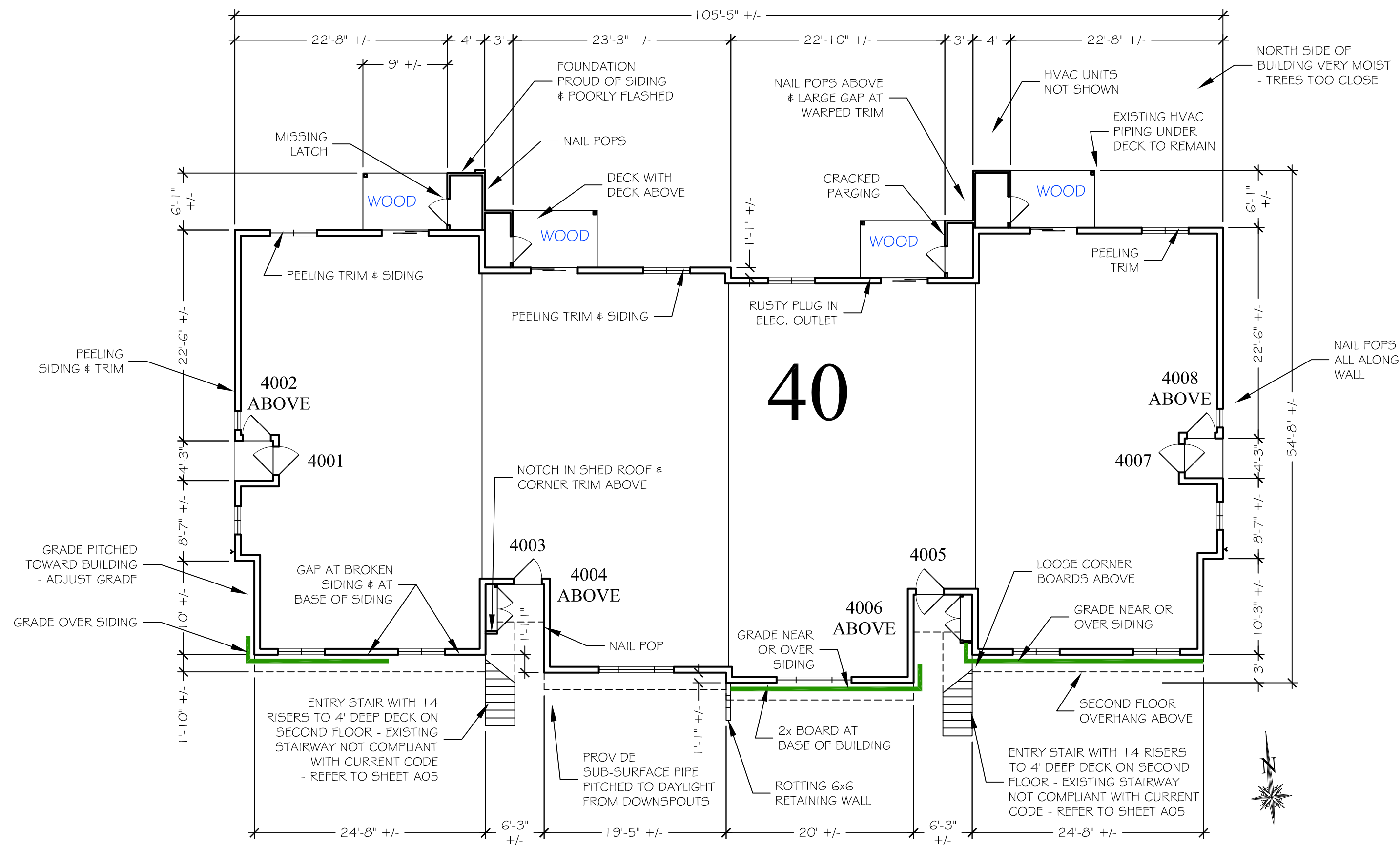
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PROJECT # 13-24 DATE: 6/4/2014

A02
FLOOR PLANS

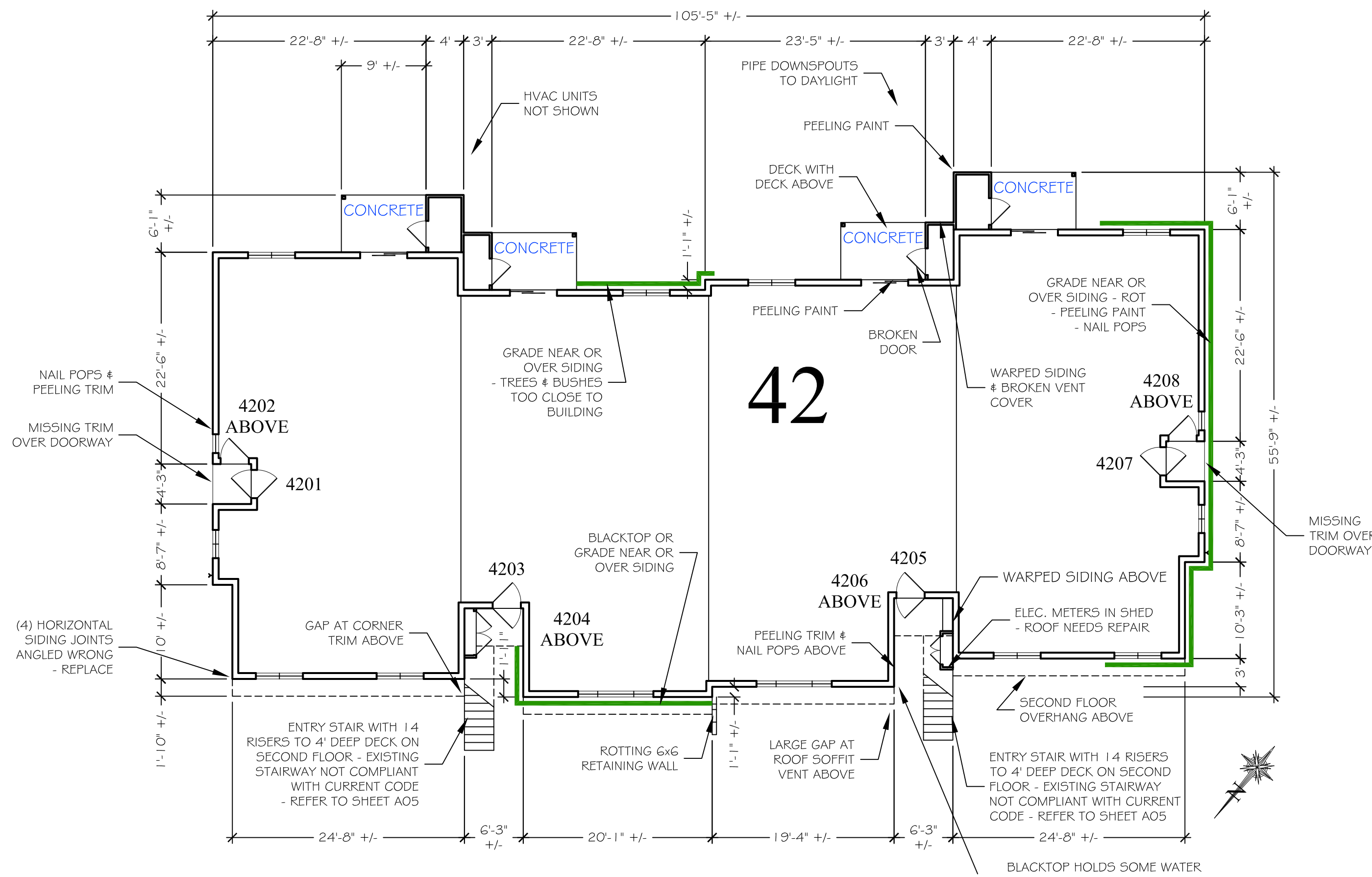
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1 FIRST FLOOR PLAN - BUILDING 40
SCALE: 1" = 10'-0"

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2 FIRST FLOOR PLAN - BUILDING 42
SCALE: 1" = 10'-0"

DECK, STAIR & SIDING REPAIR
FOR
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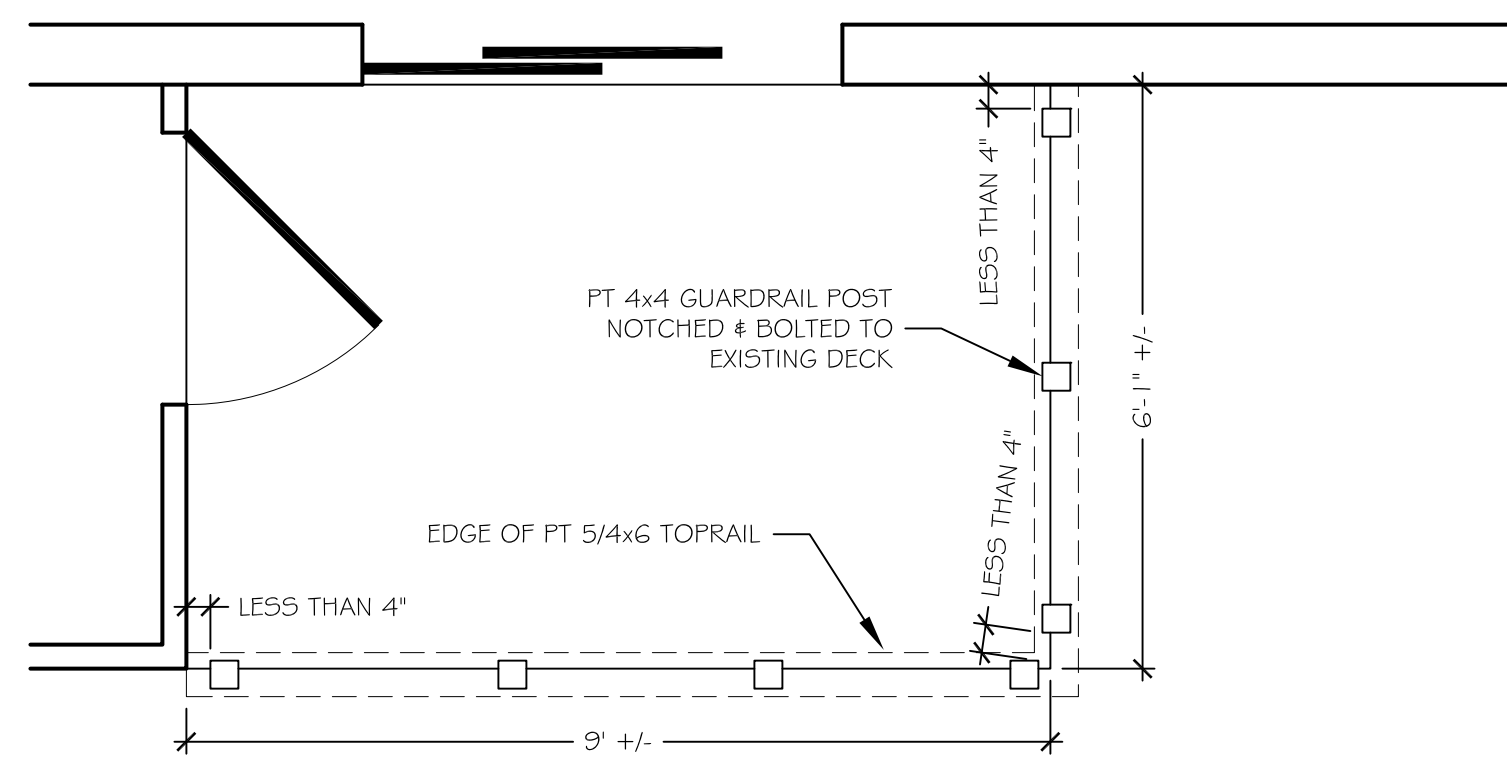
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Town of New Paltz
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PROJECT # 13-24 DATE: 6/1/2014

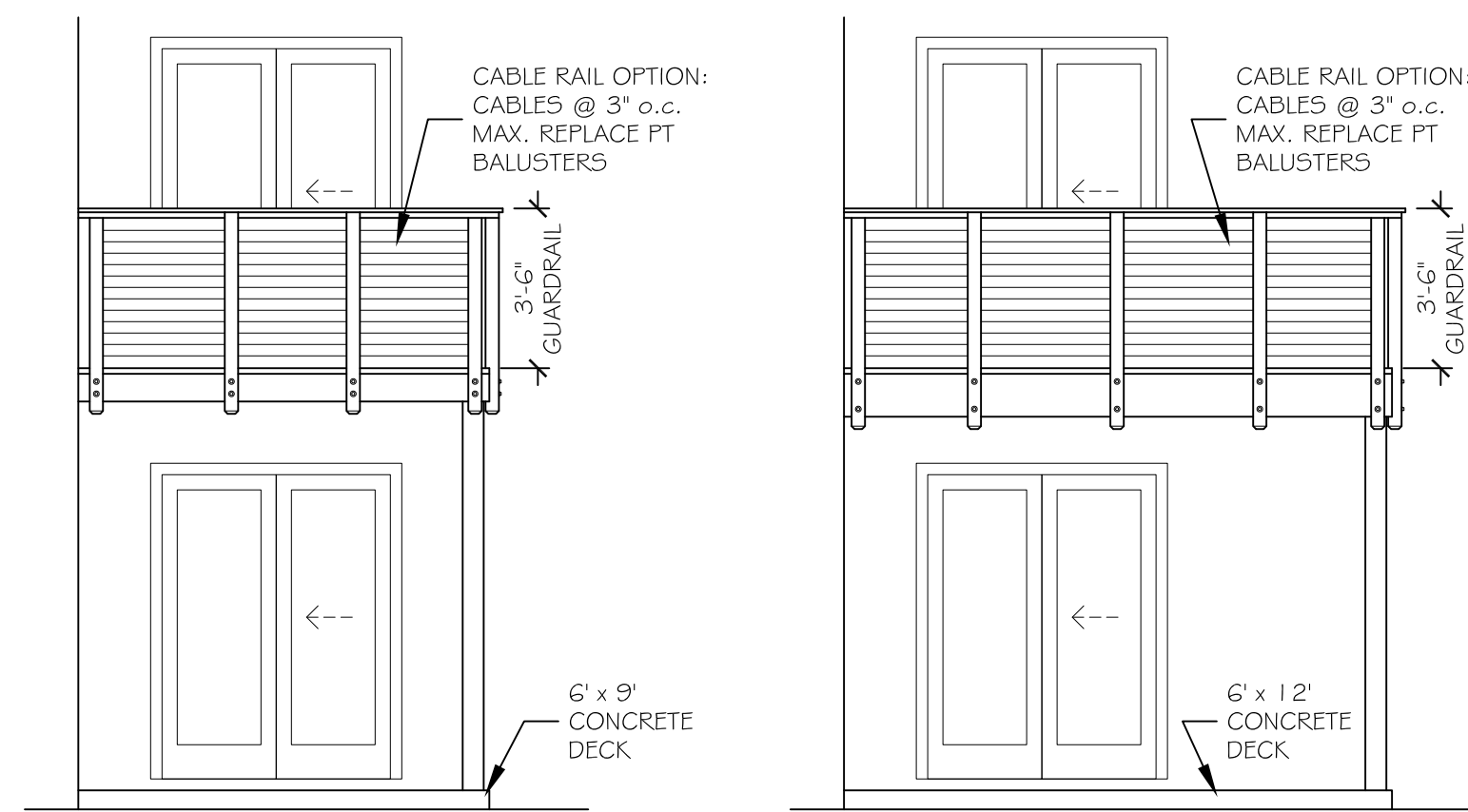
FLOOR PLANS

A03



1 SECOND FLOOR DECK PLAN

SCALE: 1/2" = 1'-0"

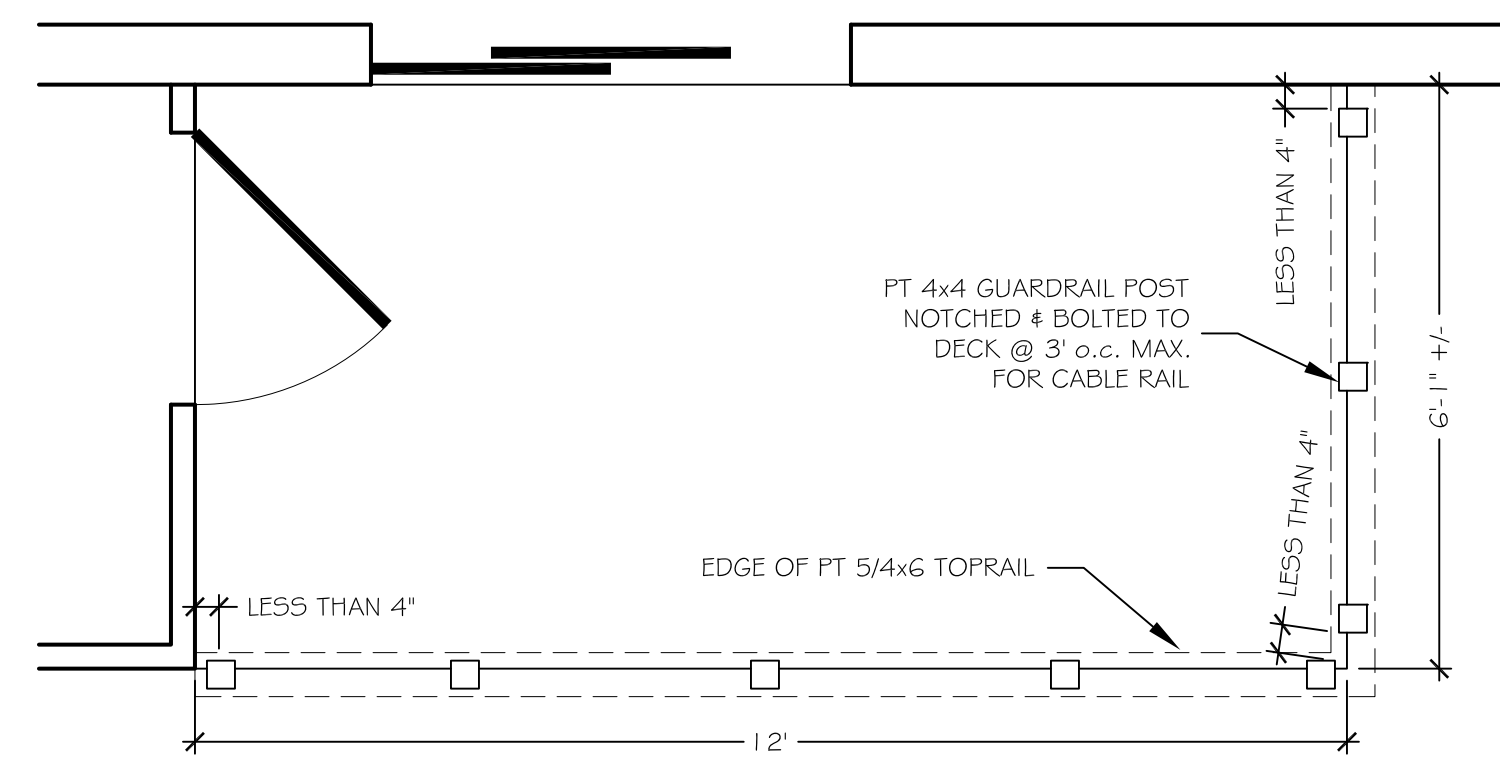


7 DECK ELEVATION

SCALE: 1/4" = 1'-0"

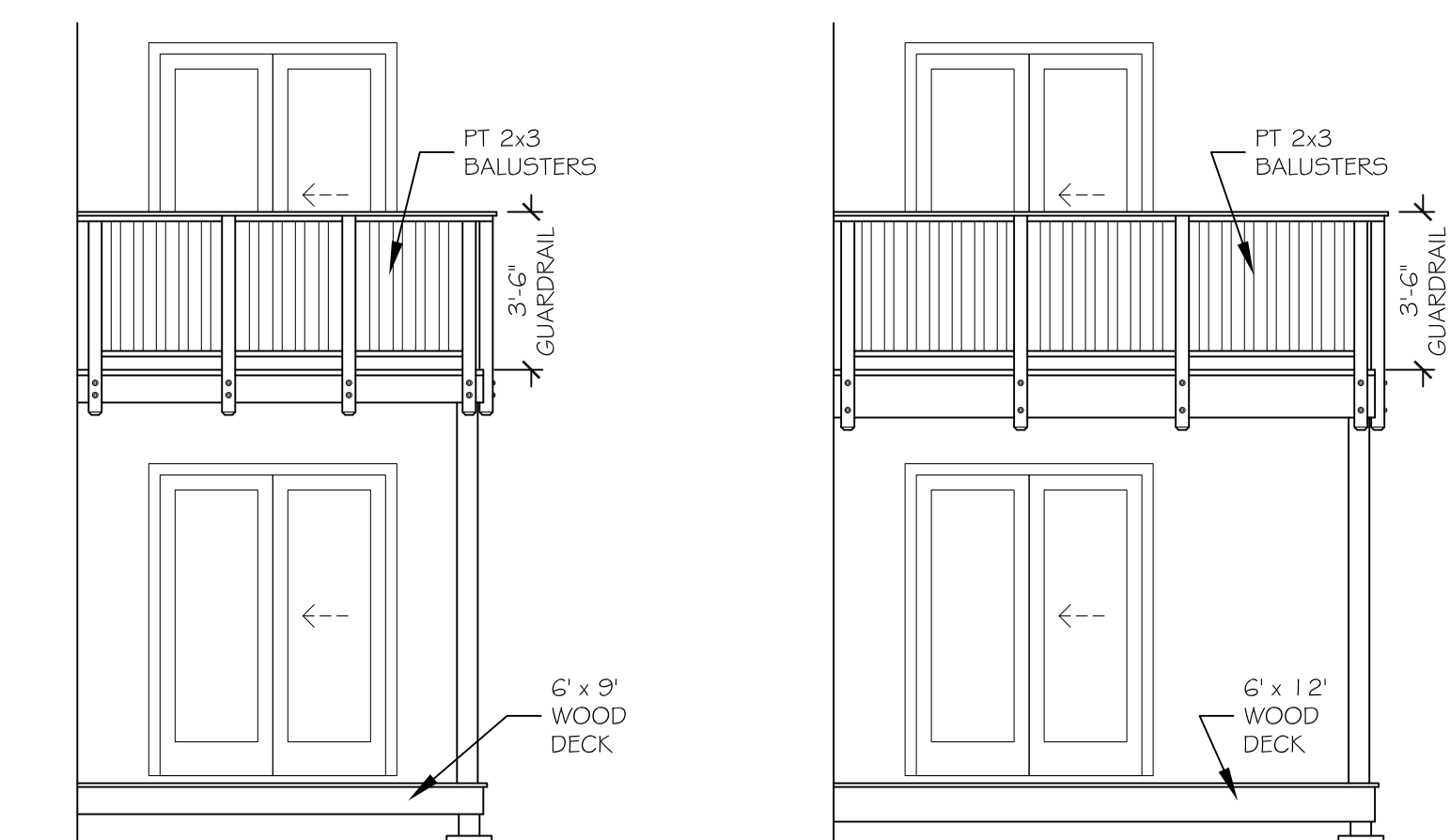
9 DECK ELEVATION

SCALE: 1/4" = 1'-0"



13 SECOND FLOOR DECK PLAN - 6' x 12' OPTION

SCALE: 1/2" = 1'-0"

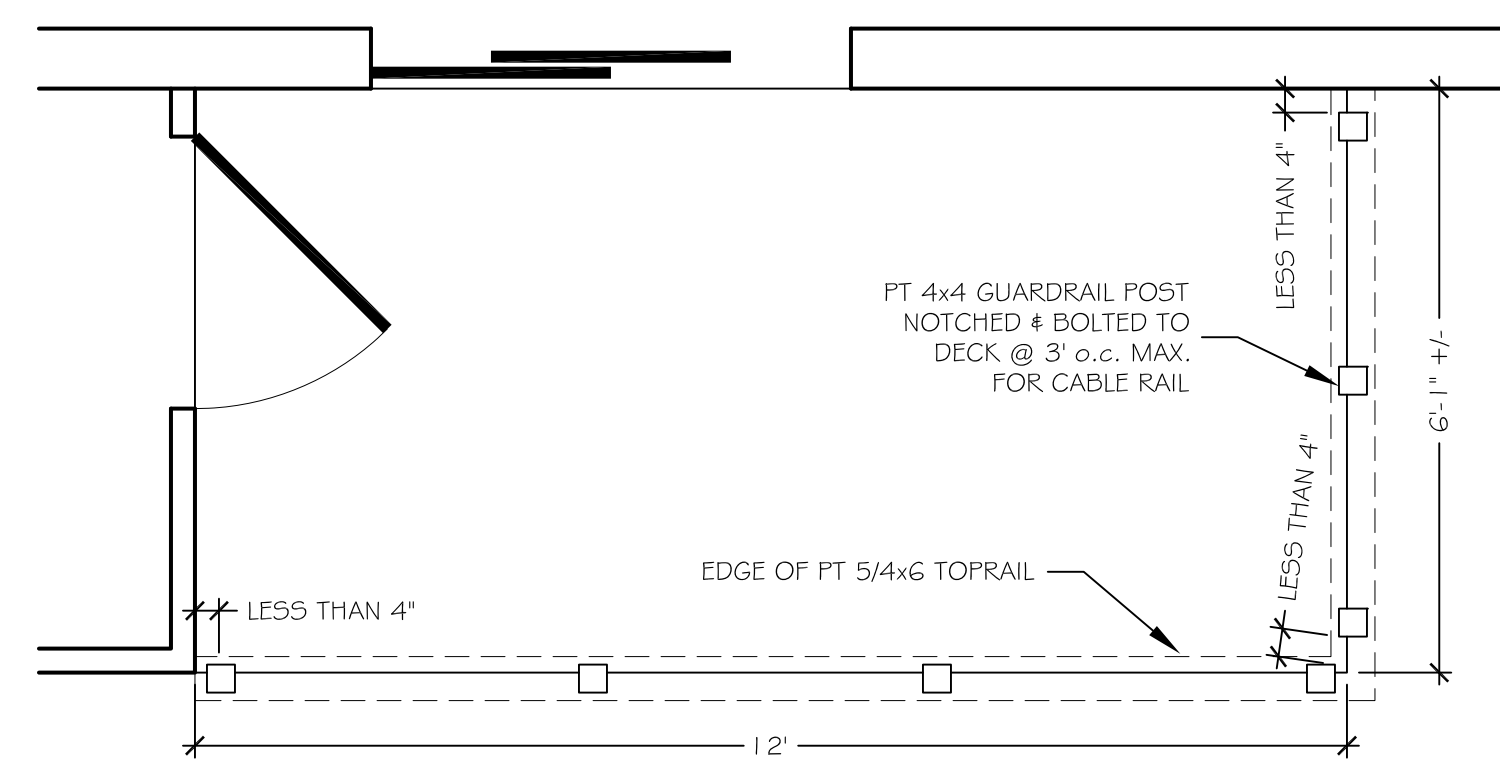


6 DECK ELEVATION

SCALE: 1/4" = 1'-0"

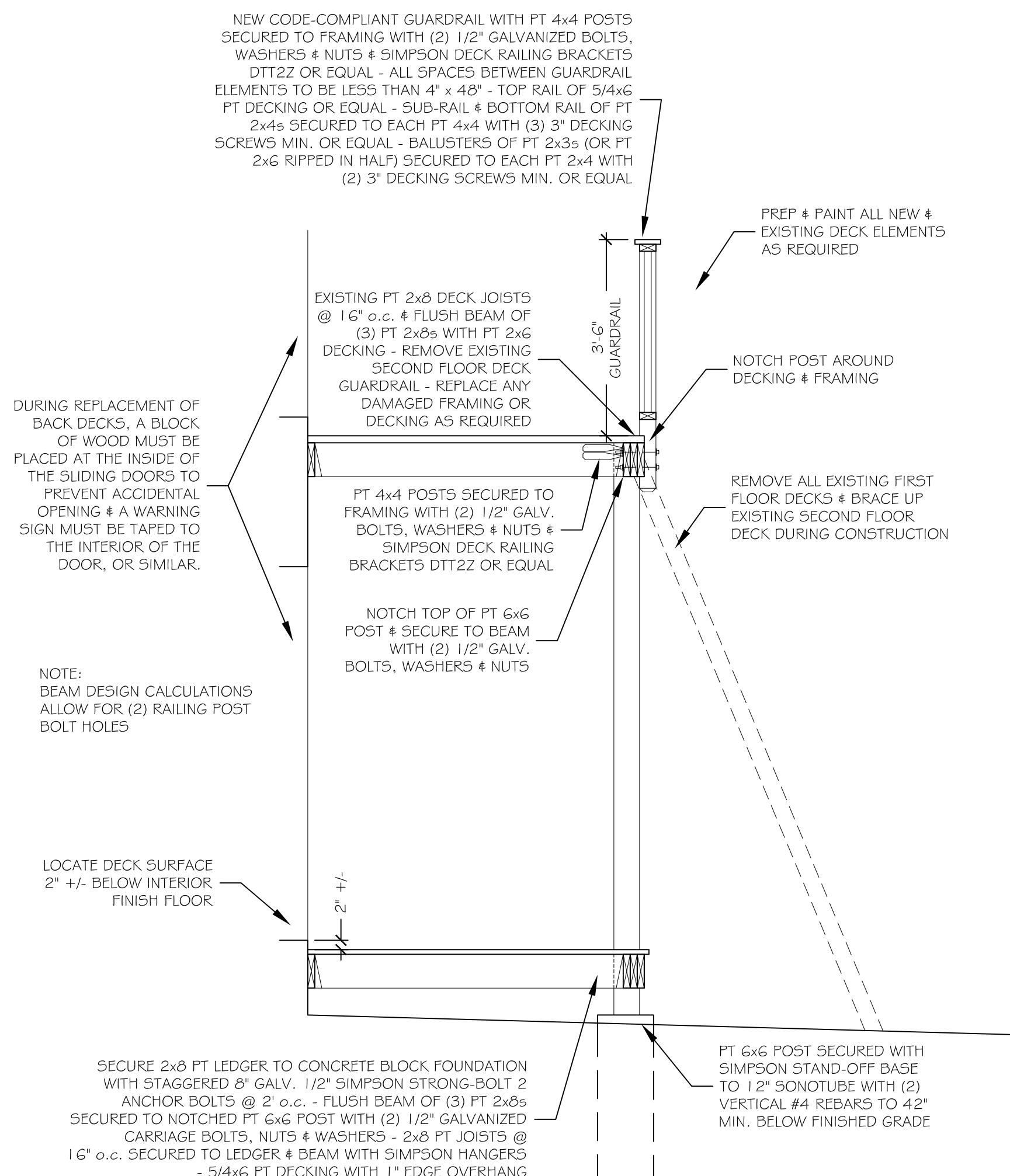
8 DECK ELEVATION

SCALE: 1/4" = 1'-0"



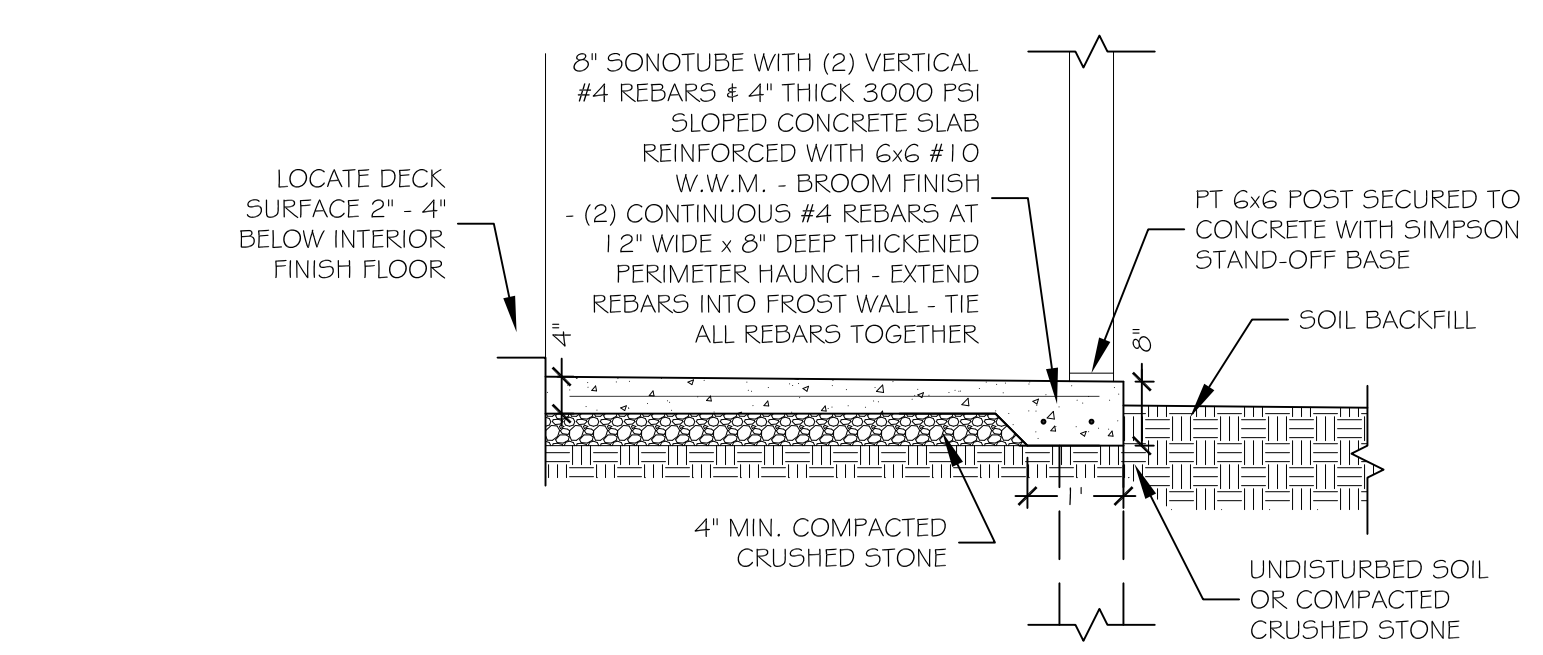
12 SECOND FLOOR DECK PLAN - 6' x 12' OPTION

SCALE: 1/2" = 1'-0"



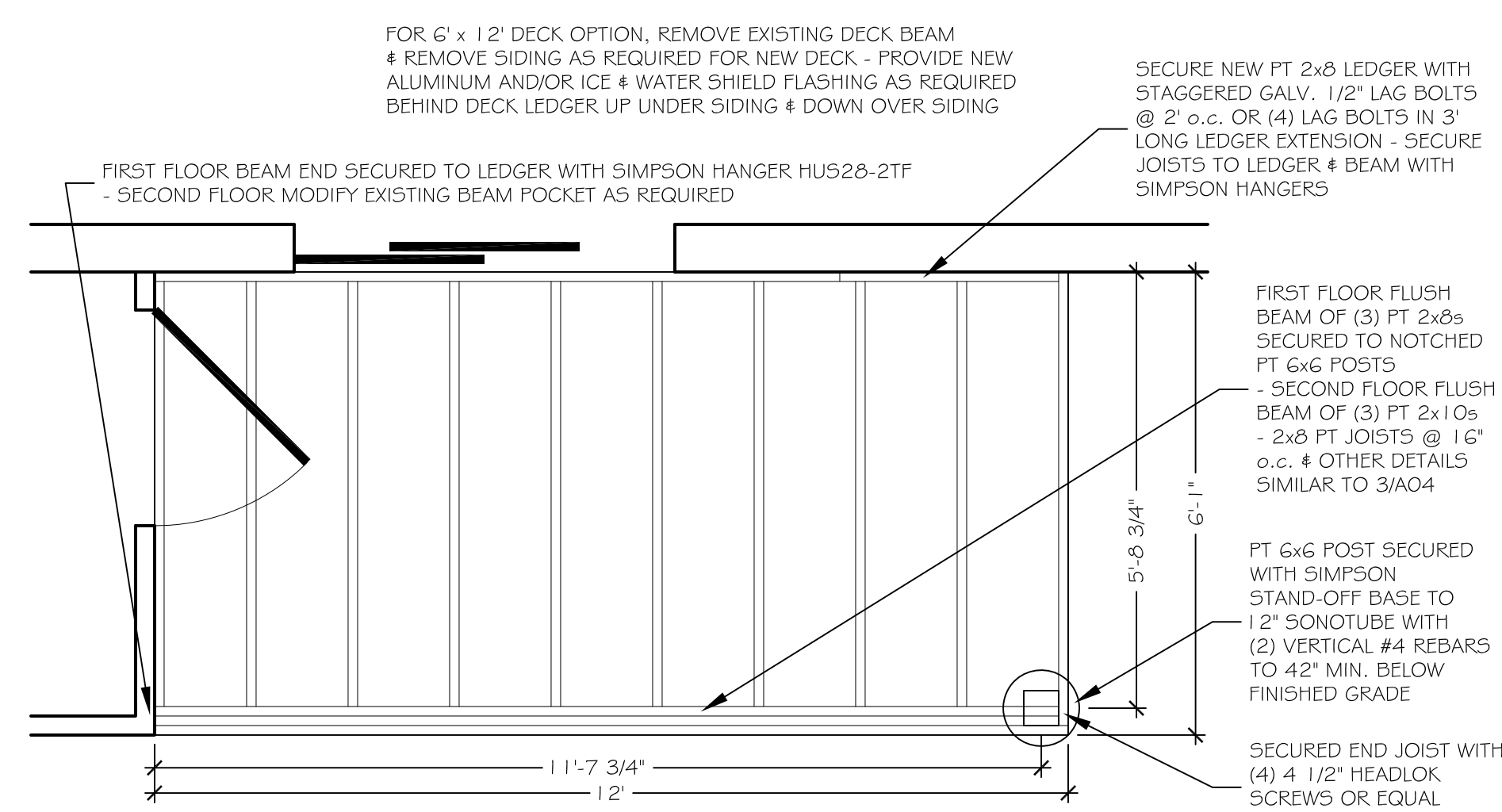
2 WOOD DECK DETAIL

SCALE: 1/2" = 1'-0"



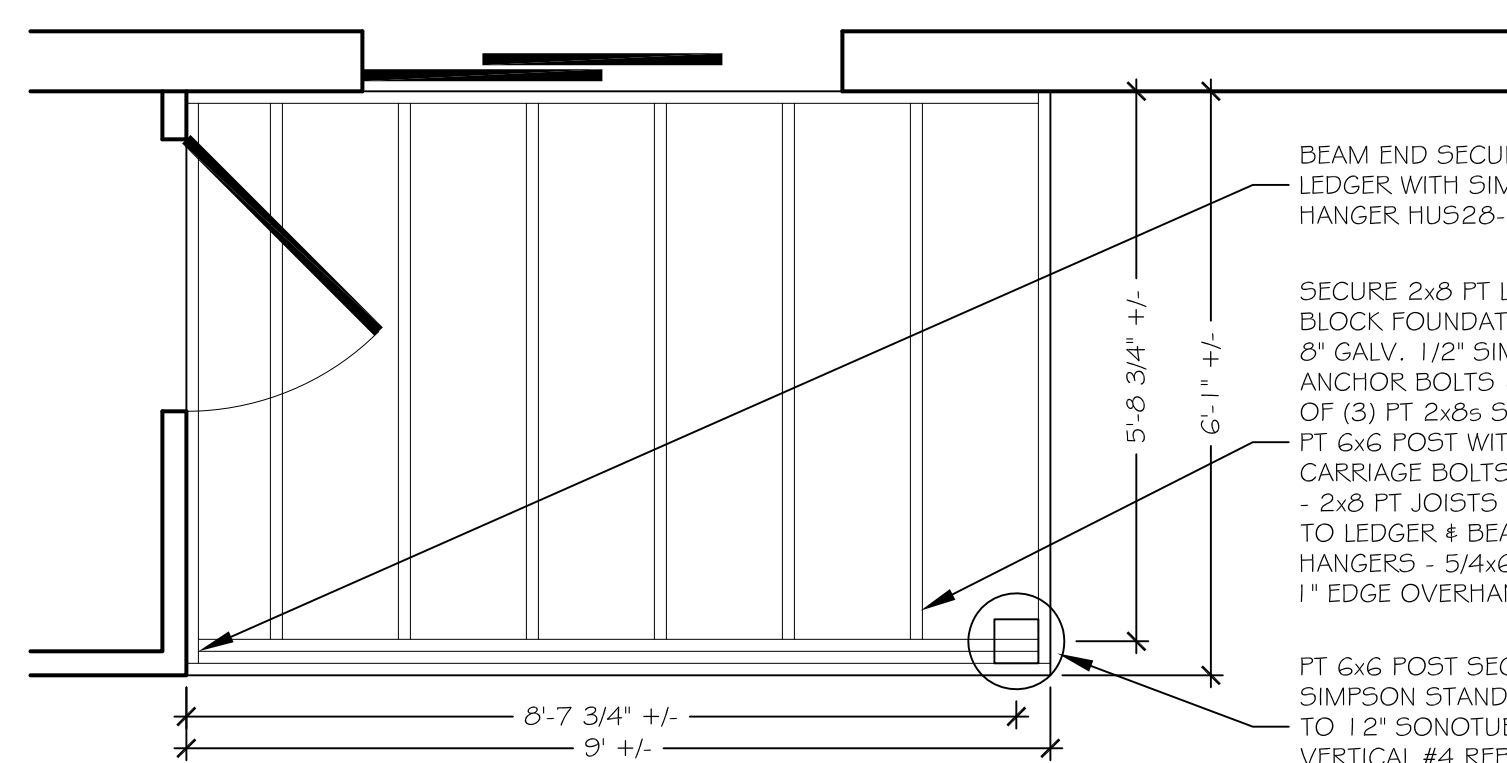
5 THICKENED SLAB / POST DETAIL

SCALE: 1/2" = 1'-0"



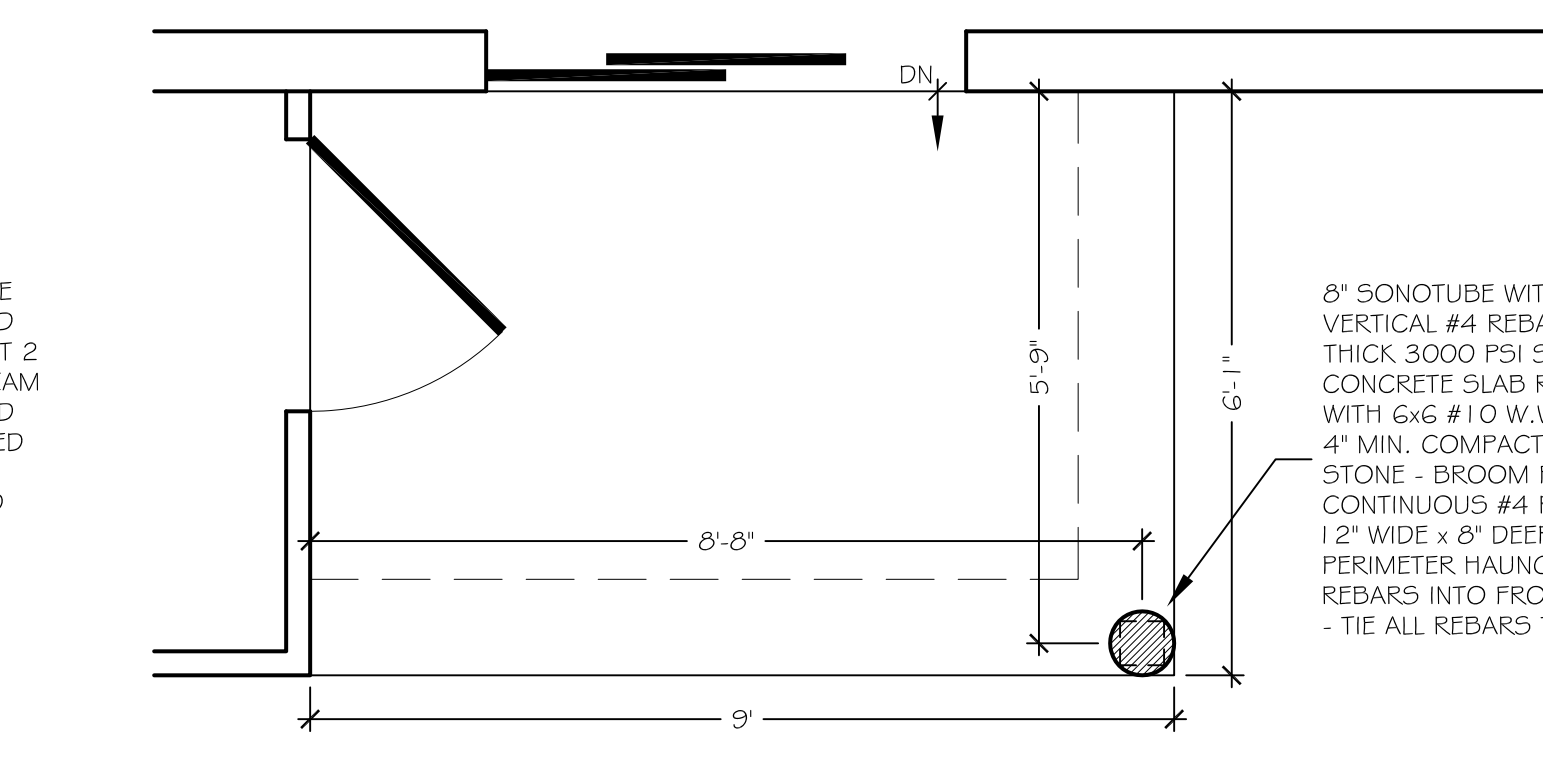
11 WOOD DECK FRAMING PLAN - 6' x 12' OPTION

SCALE: 1/2" = 1'-0"



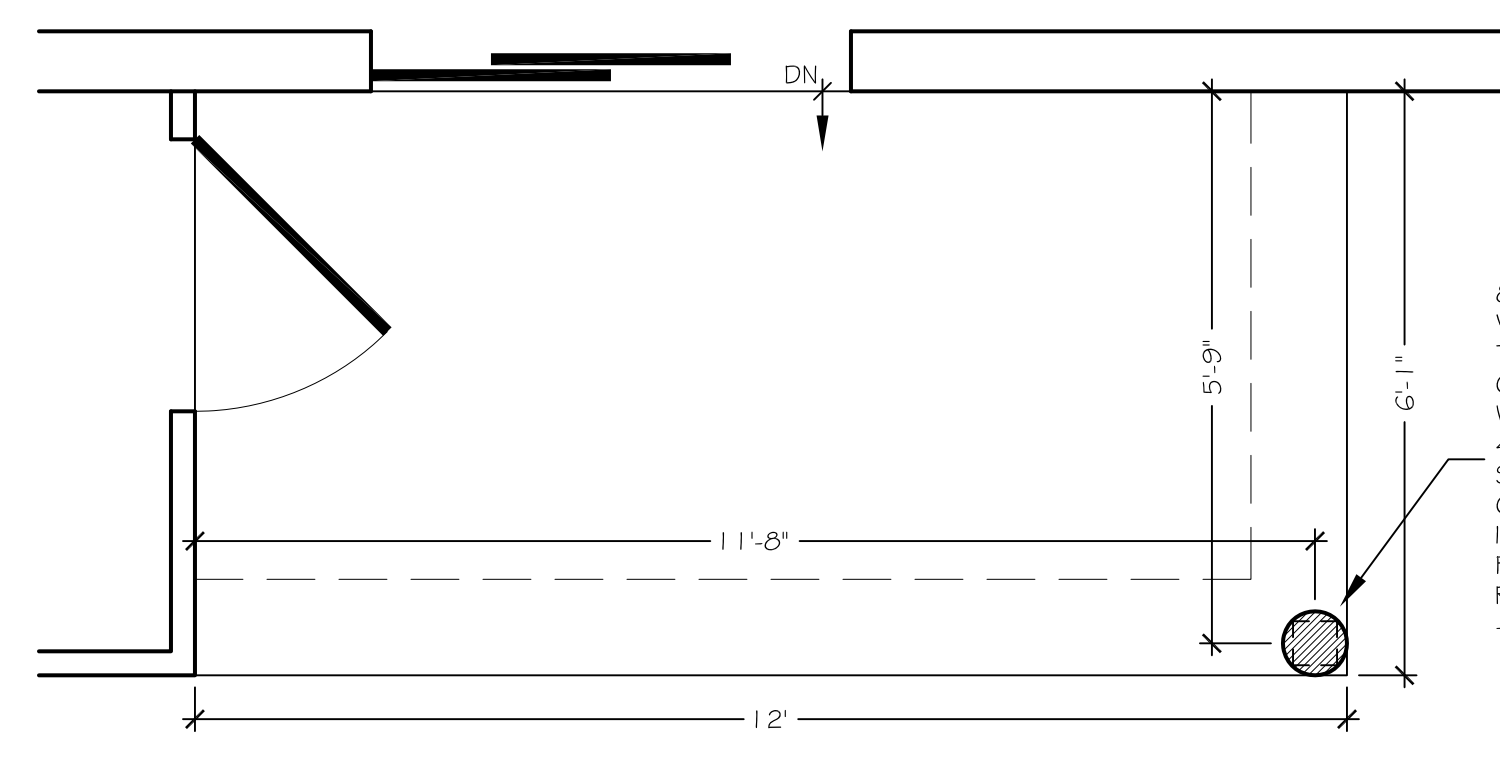
3 WOOD DECK FRAMING PLAN

SCALE: 1/2" = 1'-0"



4 CONCRETE DECK FOUNDATION PLAN

SCALE: 1/2" = 1'-0"



10 CONCRETE DECK FOUNDATION PLAN - 6' x 12' OPTION

SCALE: 1/2" = 1'-0"

DECK, STAIR & SIDING REPAIR

FOR
FOX HILL CONDOMINIUMS III

**WILD BERRY COURT,
FOX HILL LANE & DEER PATH
POUGHKEEPSIE, NEW YORK 12601**

CITY OF POUGHKEEPSIE

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

REVISION	DATE	DESCRIPTION

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PROJECT # 13-24 DATE: 6/4/2014

A04
BACK DECK DETAILS

DECK, STAIR & SIDING REPAIR

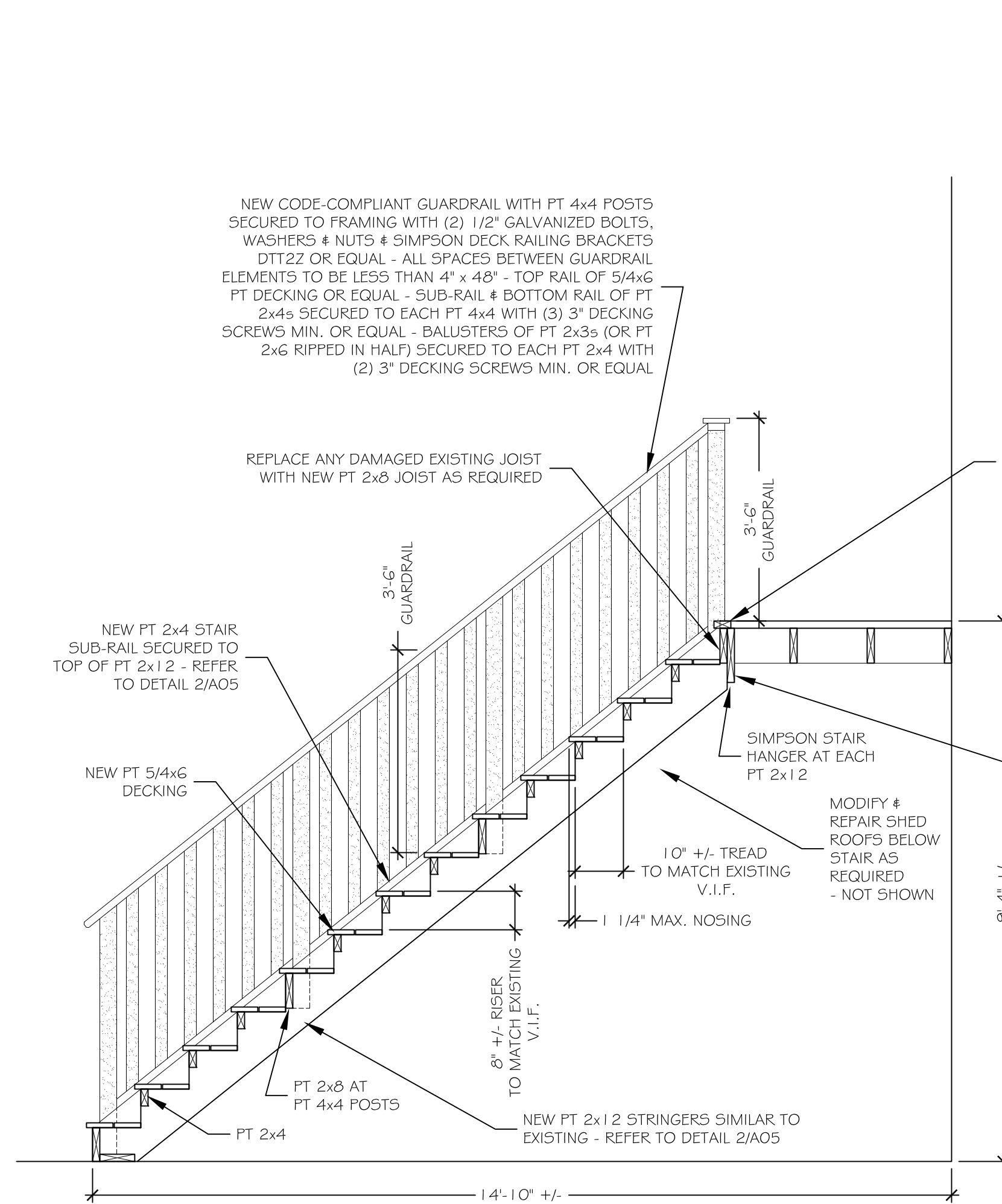
FOR
FOX HILL CONDOMINIUMS III

**WILD BERRY COURT,
FOX HILL LANE & DEER PATH
POUGHKEEPSIE, NEW YORK 12601**

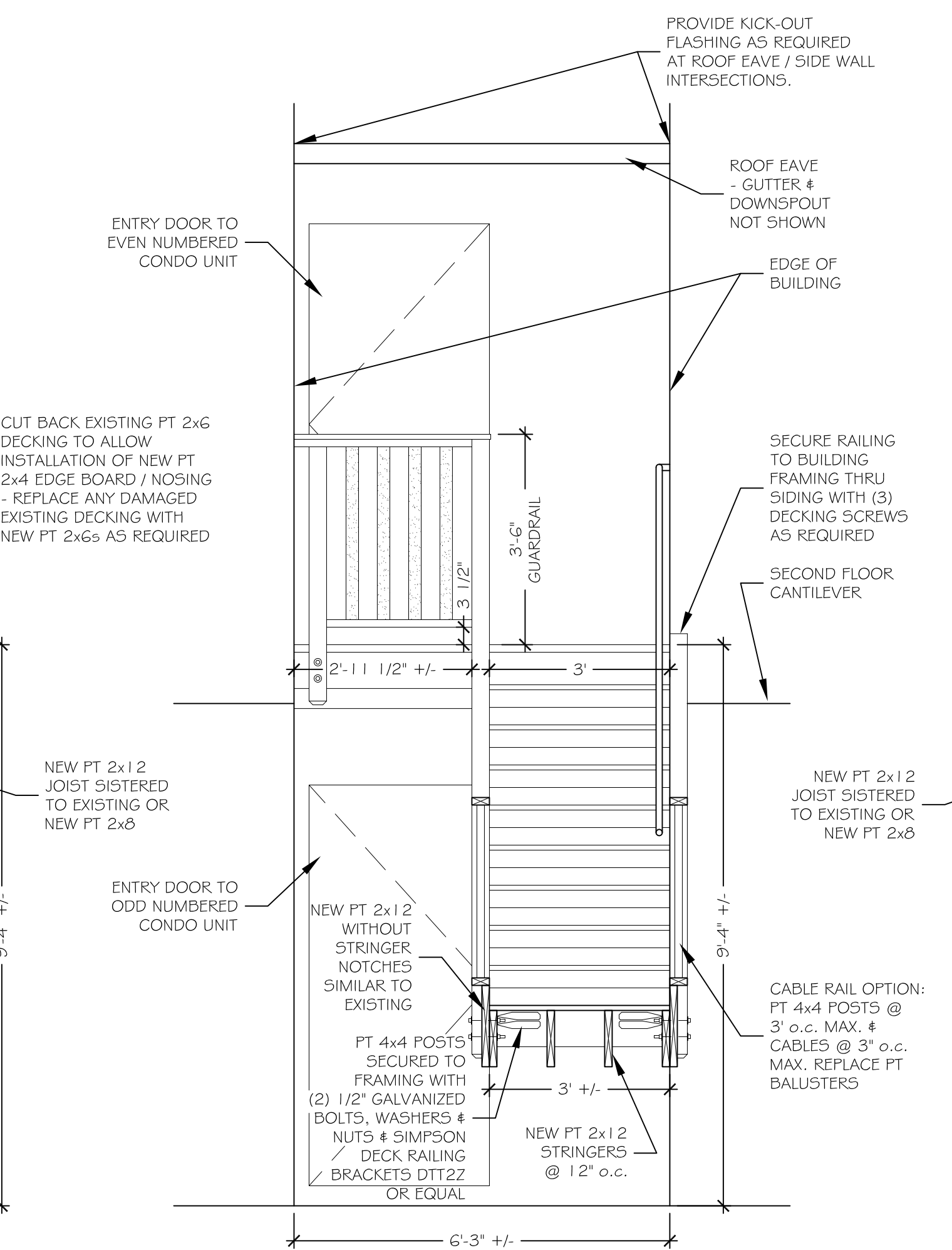
CITY OF POUGHKEEPSIE

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO ALTER INFORMATION INCLUDED IN THESE DOCUMENTS IF THESE PLANS HAVE BEEN AFFIXED WITH THE SEAL OF A LICENSED ARCHITECT.

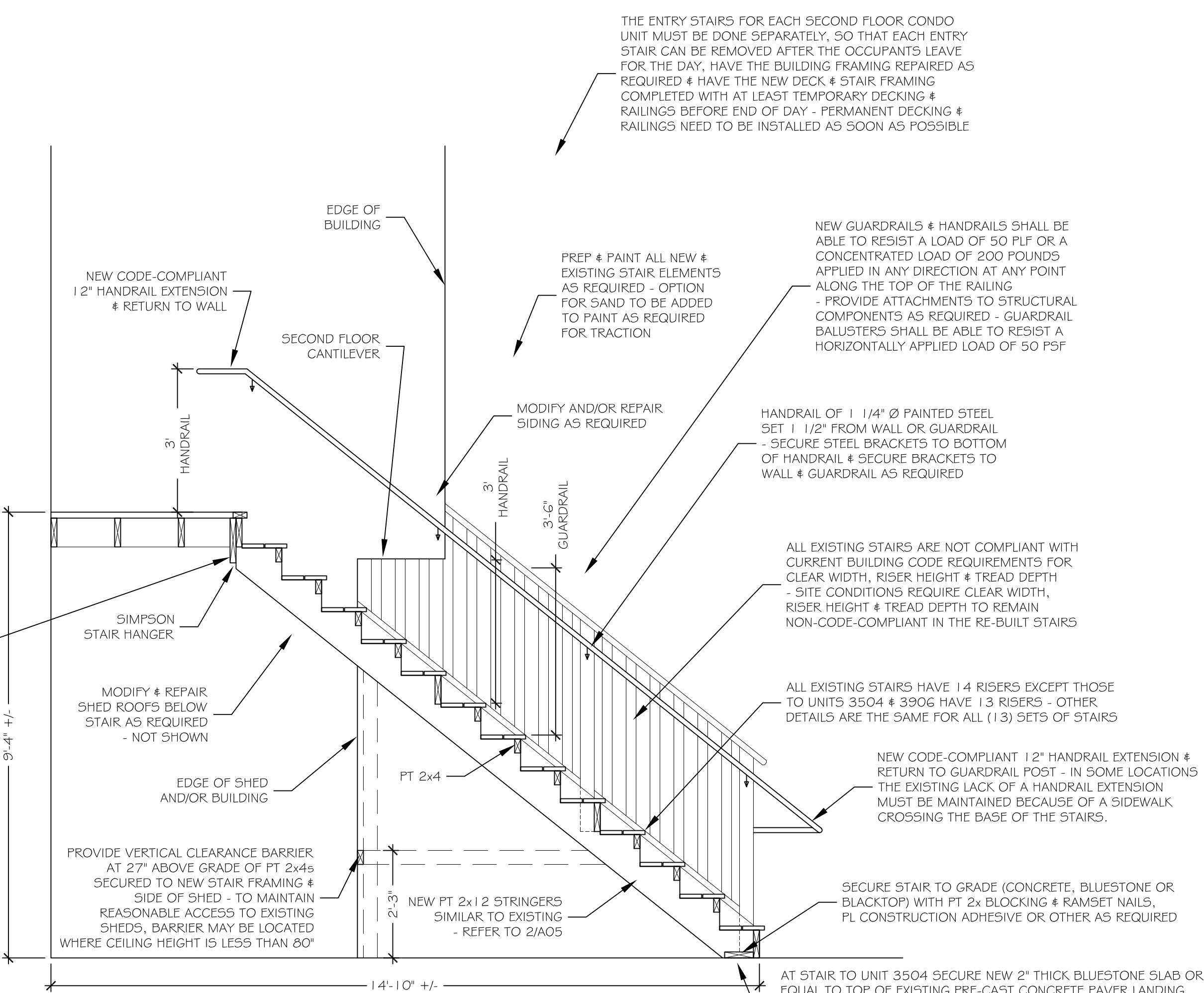
REVISION	DATE	DESCRIPTION



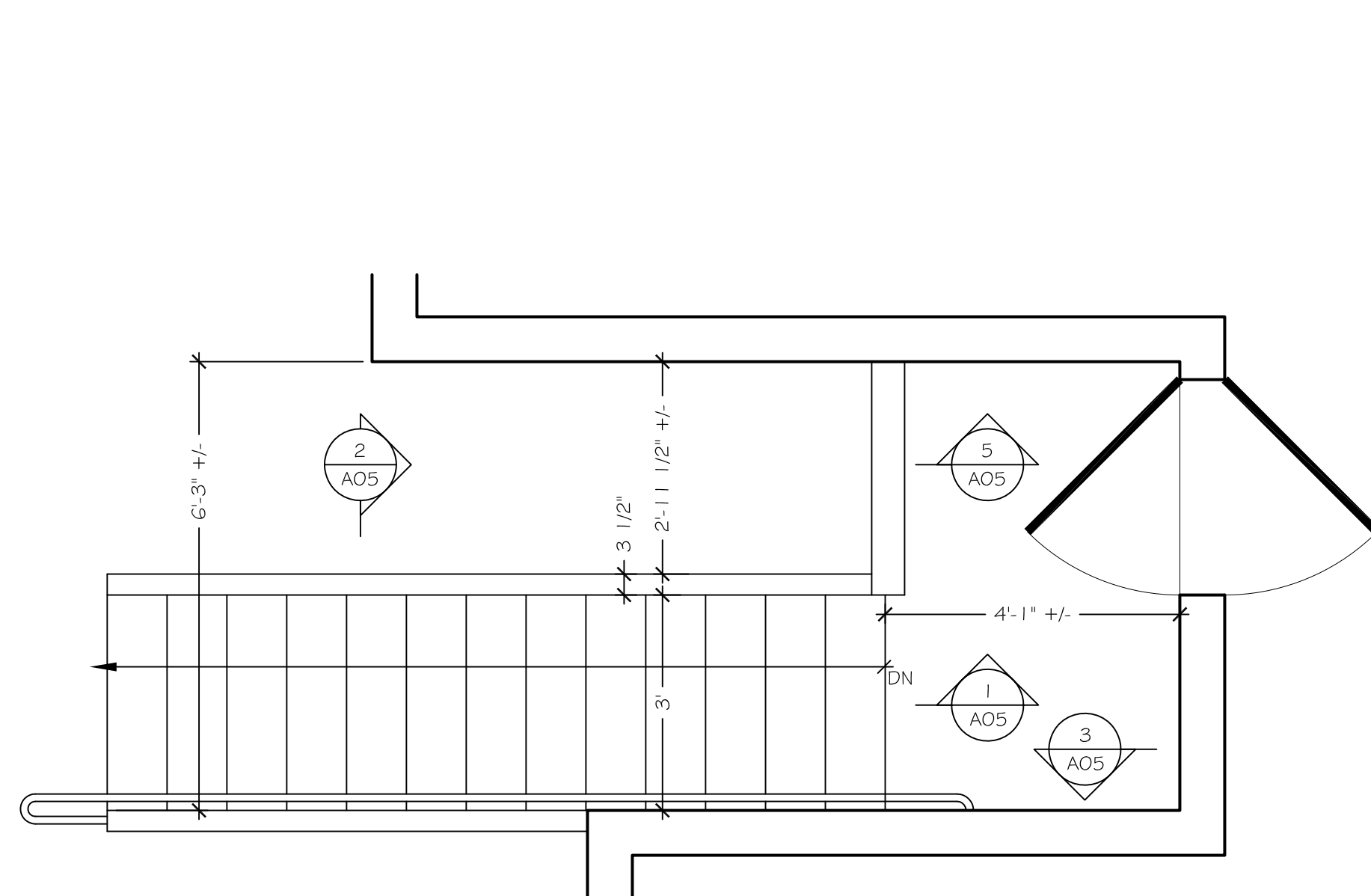
1 STAIR SECTION DETAIL
SCALE: 1/2" = 1'-0"



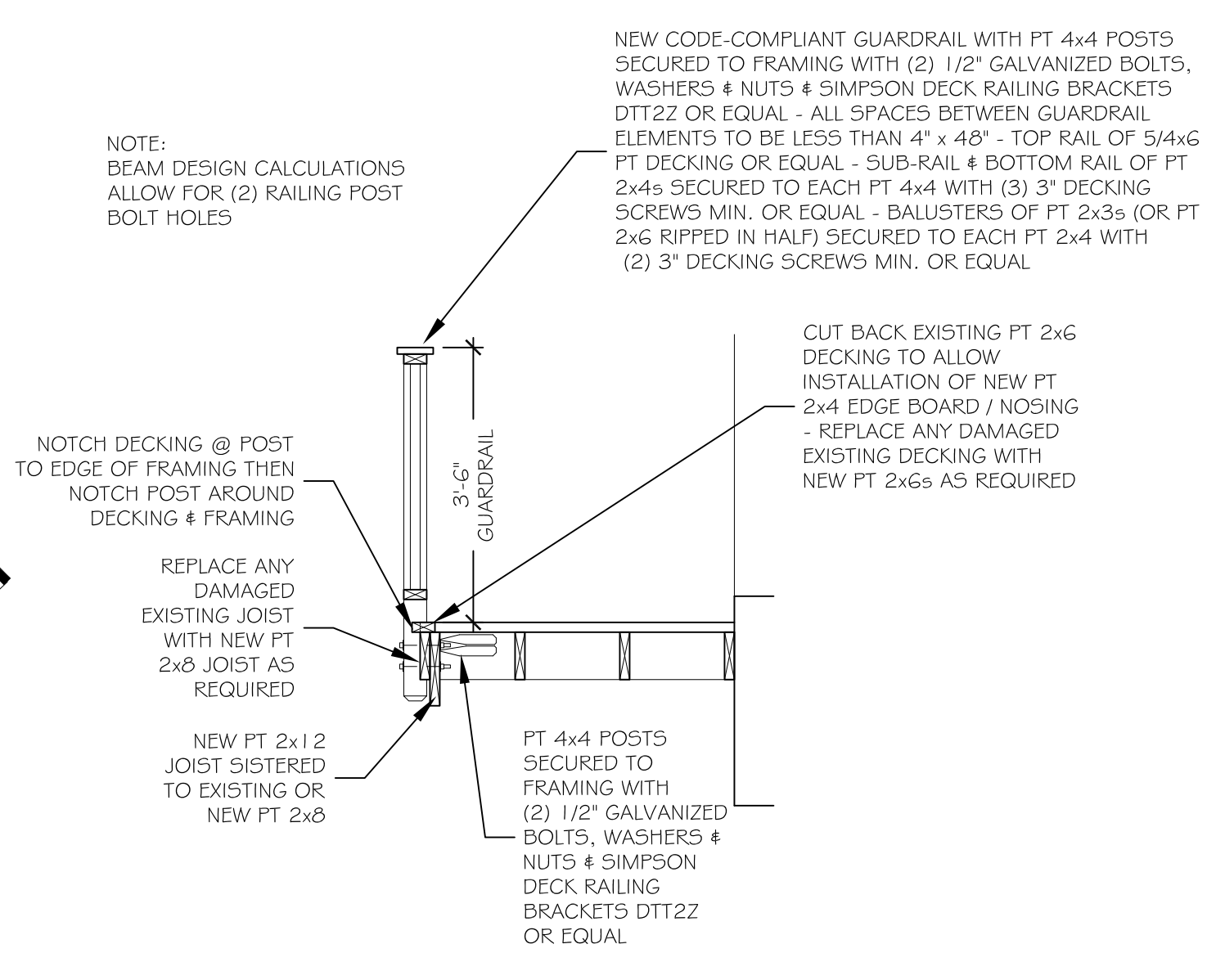
2 STAIR SECTION DETAIL
SCALE: 1/2" = 1'-0"



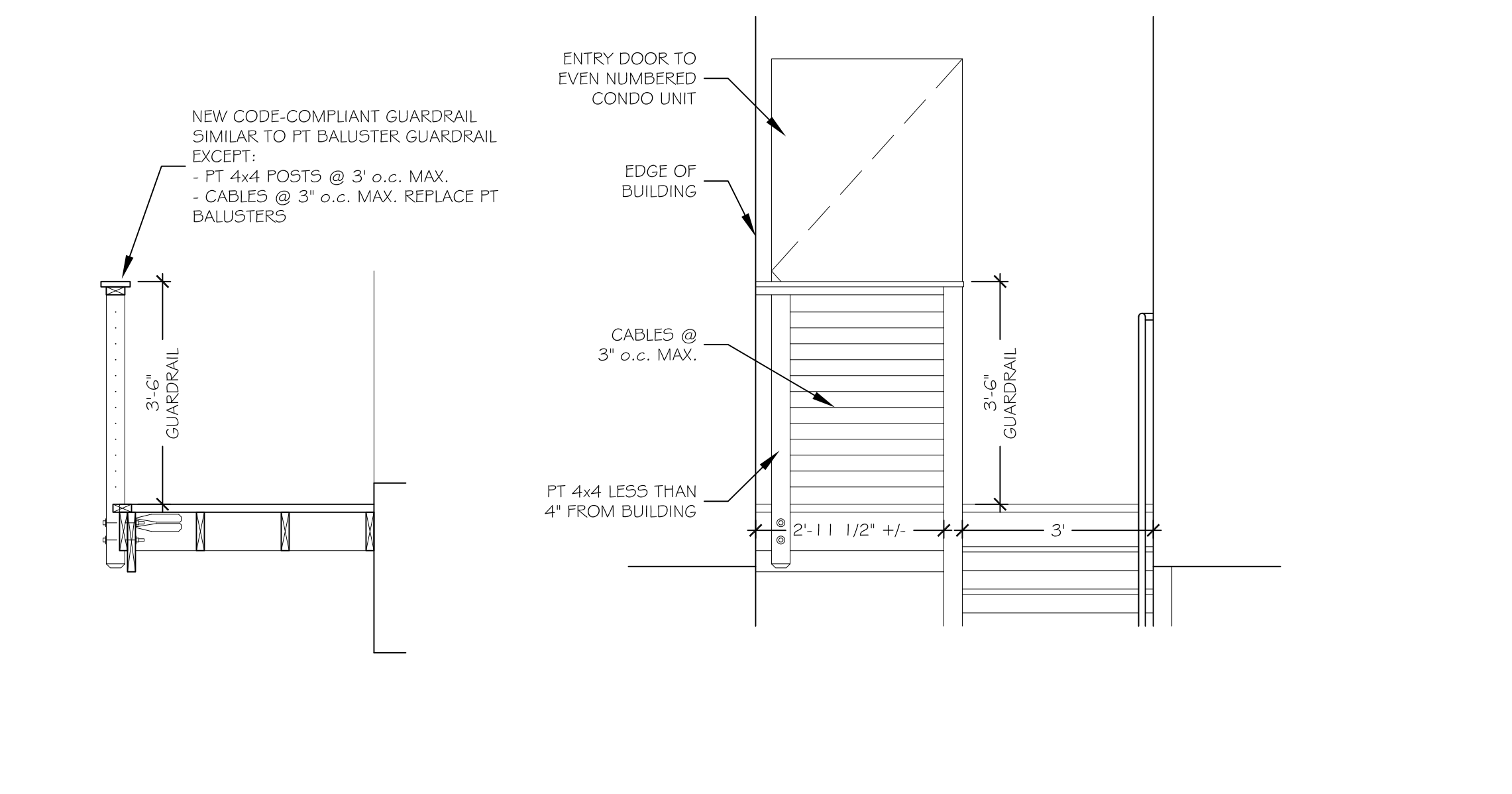
3 STAIR SECTION DETAIL
SCALE: 1/2" = 1'-0"



4 STAIR PLAN DETAIL
SCALE: 1/2" = 1'-0"



5 RAILING SECTION DETAIL
SCALE: 1/2" = 1'-0"



6 CABLE RAIL OPTION DETAILS
SCALE: 1/2" = 1'-0"

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A05
ENTRY STAIR DETAILS